

armor home inspections

www.armorinspections.com

5955 Alpha Road, Suite 102, #231

Dallas, TX 75240

214-536-9160



**When you need a home inspector, not a house
inspector,**

We inspect every home as if it was our own.

Jill Doe

1234 Sample Street



PROPERTY INSPECTION REPORT FORM

Jill Doe <i>Name of Client</i>	04/24/2024 <i>Date of Inspection</i>
1234 Sample Street, Dallas, TX 75111 <i>Address of Inspected Property</i>	
Jay Wilkinson <i>Name of Inspector</i>	TREC #20338 <i>TREC License #20338</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

House Orientation (For Purpose Of This Report Front Faces): **North**

Weather Conditions During Inspection: **Sunny, Clear**

Outside temperature during inspection: **91-100 DEGREES Fahrenheit**

Inspection Time In: **10:00 a.m.** Time Out: **1:00 p.m.**

Property was: **Occupied Two Story Single Family Residence***

Year built or age: **1917**

Parties present at inspection: **Clients/Buyer's Agent**

Paid in full by **Zelle** Inspection Fee: **\$ 599.00**

IMPORTANT AGREEMENTS AND LIMITATIONS

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

1. WHAT WE DO:

- * We tell you whether each item we inspect properly performs the function initially intended, or if it is in need of repair.
- * We perform our inspection in a good and workmanlike manner. ALL OTHER WARRANTIES ARE DISCLAIMED
- * If you have a question, please bring it to our attention so we may explain what we observed about the item.

2. WHAT WE DO NOT DO:

- * We **DO NOT** make guarantees, warranties, or insure the future performance or condition of any item. One reason we cannot do this is because of the small amount of the inspection fee compared to the value of the property. If you want a warranty, guarantee or insurance policy, you must obtain it from a warranty or insurance company for a much higher price. Please remember that almost every item in any house, except a brand new one, is in used condition and has ordinary wear and tear.
- * We **DO NOT** inspect any items, which we cannot see in a normal inspection. For example, we do not move furniture, rugs, paintings, or other furnishings. We do not uncover buried pipes or items. We cannot see items covered by wallpaper, flooring or plants. Repair or remodeling may hide evidence of prior damage or defects. We do not dismantle equipment to inspect component parts. We do suggest that you ask the seller about repairs, covered up items, or previous problem.
- * We **DO NOT** inspect for building codes, soil analysis, adequacy of design, capacity, efficiency, size, value, flood plain location, pollution or habitability. Please remember that older houses do not meet the same standards as newer houses, even though, items in both might be performing functions for which they are intended.
- * We **DO NOT** allow the inspector to change or add to these printing provisions in any way.
- * We **DO NOT** hold ourselves to be engineers or specialists for any particular item. We are a general real estate improvement inspection company. If we report that an item is not performing its intended function, or needs repair, or shows evidence of prior damage, we urge you to have that item examined by a specialist before purchasing the house.
- * We **DO NOT** give estimates of the cost to repair any item.

3. WHAT YOU MUST DO:

- * If you have any complaint about our inspection, **YOU MUST** notify us in writing within seven days after you discover any problem, and let us reinspect before changing the condition, except in emergencies, of course.
- * If we report that an item is in need of immediate repair, is not performing its' intended function or shows past damage and you intend to purchase the property anyway, **YOU FIRST SHOULD** have the item examined by specialist.
- * **YOU AGREE** that, to the extent allowed by law, any damages for breach of this contract or report are **LIMITED to the amount of the inspection fee**.
- * If you sue on this inspection but do not prevail, YOU AGREE to pay our reasonable attorney's fee.
- * **YOU REPRESENT** to us that (1) the inspector has not made any oral representation that are different from or in addition to what is written in his report, and (2) you agree to each provision of this report by relying on it in any way, whether or not you sign it.
- * **YOU MUST NOT** allow anyone else to use or rely on this report without our prior written consent.
- * You acknowledge that we hereby notify you that there is a Real Estate Recovery Fund available, established under Section 23 of the Texas Real Estate License Act for reimbursement of certain aggrieved persons. The Texas Real state Commissions mailing and telephone number is 1101 Camino Lacoste, Austin, Texas 78752, (512) 465-3960.

THIS REPORT CANNOT AND DOES NOT REPRESENT THE OPERATION OR CONDITION OF ANY ITEMS AFTER THE DATE AND TIME OF THIS INSPECTION. THIS REPORT IS OUR INVOICE.

FOUNDATION INFORMATION

Most of the North Texas area soil is expansive type clay. Therefore, proper care of your home's foundation is very important in preserving the integrity of the structure. Clay soils have the ability to expand (when wet) and contract (when dry) at alarming rates. This requires that an EVEN and rather Constant level of moisture be maintained around the ENTIRE house. Defects in foundations occur when the structure does not move as a unit. This could occur when one area around the foundation is continually wet, while other areas remain dry. Listed below are a few suggestions that may be help in your foundation maintenance program

1. Maintain the grading and the beds around the foundation so that it gently slopes AWAY from the structure.
2. If the house has guttering, be sure that all run-off is diverted well away (2-3 feet) from the foundation.
3. The area around the foundation should always be watered evenly around the ENTIRE structure.
4. The best way to ensure even watering is to place **soaker hoses** around the entire perimeter and to water EVENLY every time.
5. Do not let water stand next to the foundation.
6. Never allow the soil to dry to the point of cracking or pulling away from the foundation.

*The home was occupied or staged and personal items such as furniture, rugs, storage, and window treatments restricted and obstructed the inspection of interior rooms, closets, floors, cabinets, the garage, and attic. Components including but not limited to windows, doors, receptacles, etc. that were obstructed by heavy or fragile furniture or storage were not inspected. These areas and items should be examined after the home is vacated and before closing for hidden damage that was not discovered during the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Pier & Beam - Crawlspace

Comments:

Foundation Performance Opinion:

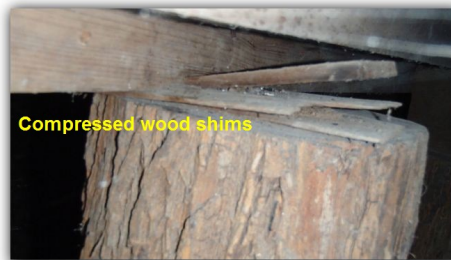
In my opinion, the foundation appears to be providing adequate support for the structure at the time of this inspection. I did however observe evidence that would indicate the presence of some deficiencies in the foundation. The interior and exterior stress indicators showed some signs of movement or settling that are consistent with age of this home and as is typical of most houses given the nature of expansive soils found in the area.

You should be aware that there is visible evidence of previous foundation repairs. You are encouraged to consult the current homeowner concerning the scope of previous foundation work performed and any warranty information that may be available. Determining the effectiveness of previous foundation repairs is beyond the scope of a limited visual inspection.

Crawlspace viewed from: Crawlspace interior.

Type of piers: Bois D'arc (Wood), Block, Masonry Perimeter Beam with Horizontal Floor Joists

Crawlspace views:



One or more of the piers have shifted somewhat, as is typical of many houses due to expansive soils in the North Texas area. These should be monitored periodically.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

One or more of the piers were not touching the beam or floor joist. Shimming or other repairs are recommended.

One or more of the wood beams were twisting or rotating in the crawlspace.

One or more joists or beams were notched in the crawlspace. If notching is done improperly it can reduce the altered joist or beam's structural strength. Monitoring is recommended.



There was evidence of previous water penetration in the crawl space. This condition may vary seasonally. Water penetration may negatively affect the performance of the pier and beam foundation. Lot drainage improvements and/or the installation of a moisture barrier should be addressed as a first step to controlling water penetration of the crawl space. This condition should then be monitored to determine if other drainage improvements are necessary.

The wood, paper, and other debris in the crawlspace should be removed to avoid baiting wood destroying insects.

One or more piers were observed to be shimmed with wood. Replacing all wood shims with metal is recommended the next time the piers are adjusted.

Openings were observed in the flooring or subflooring in various locations including at and around the plumbing penetrations. Sealing these will help prevent vermin egress.

Notice: This inspection is one of first impression and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection.

The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection. This does not guarantee the future life or failure of the foundation. Drainage issues, water penetration, and unseasonably severe weather changes can negatively impact the performance of the foundation. ***The Inspector is not a professional engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied.*** If there are any concerns about the potential for future movement, or if you want further evaluation, you should consider an evaluation by a professional engineer of your choice.

B. Grading and Drainage

Comments:

Type of Gutters: Aluminum

Performance Opinion

The grading and drainage appears to be satisfactory as it relates to the foundation on the day of the inspection, except as noted below:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Note: The lot is lower than adjacent lots. Extra caution should be taken to prevent any possible water intrusion to the structure. Do not build flowerbeds in a way that will cause a damming effect and hold water next to the structure. Positive drainage away from the structure should always be maintained.

Note: There is an underground drainage system in place. Verification of the operation, sizing, efficiency, and/or adequacy of the drainage system is beyond the scope of a limited visual inspection. If there are any questions or concerns with this system or its effectiveness, you should consult with the current homeowner or the appropriate specialist. No visible problems were observed at the time of inspection.

The gutters require cleaning.

C. Roof Covering Materials

Types of Roof Covering: Composition Shingles, Medium Grade, Raised Seam Metal at rear patio

Viewed From: Partially Walked on Roof; Some Areas of the Roof Were Inaccessible due to Pitch or Weather Conditions

Comments: This inspection includes observations concerning the roof covering, flashings, skylights, and roof penetrations.

Roof Performance Opinion

In my opinion, the roof is functioning as intended and shows average wear for age. All components were found to be in satisfactory condition on the day of the inspection except as noted below:

Roof views:



Roof fasteners (nails and/or staples) were observed to be exposed on various locations of the roof including the ridge caps and flashing areas. All exposed fasteners should be sealed with the appropriate roofing caulk or sealant.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

The roofing felt paper was observed to be installed under the lower metal drip edge flashing detail and in some places felt paper did not cover all of the decking. This may allow water to seep behind the fascia board and soffit/eave areas over time. Monitoring is recommended to determine if corrective measures are necessary or cost effective.

The slope on the southeast corner of the house was lower than recommended for composition shingles. Monitoring is recommended.

Debris (leaves, limbs, etc.) was observed on the roof. Debris should be removed seasonally.

Notice: Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied.

The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, *prior to closing*, to fully evaluate the insurability of the roof.

D. Roof Structures and Attics

Viewed From: Attic Interior

Approximate Average Depth of Insulation: 3-5 inches , of fiberglass batting

Comments: This inspection includes observations concerning the roof structure and sheathing. The attic and attic space ventilation will be observed, if possible.

Type of construction: Wood framing, Oriented strand board (OSB) decking

The insulation was inadequate. Adding insulation to a minimum depth of twelve inches is recommended. The bottom section of the pull down staircase was not cut to the proper length making it unstable. Repair is recommended.

One or more areas of the roof structure lack the recommended number of support members (purlins) and some sagging was observed in the rafters and decking. The purlins should be at least the same size as the supported rafter and spaced not more than four feet apart. Adding additional purlins is recommended.

E. Walls (Interior and Exterior)

Comments: This inspection includes observations concerning deficiencies of the interior and exterior wall surfaces related to structural performance and water penetration.

Interior Cladding: Drywall/Sheetrock *Structure:* Conventional Wood Framing

Exterior Cladding: Wood

Eaves, Soffit, and Fascia: Wood

Interior Walls & Surfaces

There are minor cracks in the interior walls that are considered to be cosmetic and average for age. No attempt is made to discover or document an exhaustive list of every crack or anomaly. These deficiencies should be repaired when repainting the interior.

Exterior Walls & Surfaces

There are minor mortar cracks in the brick cladding or minor cracks from age and weathering in the wood siding that are considered to be cosmetic and average for age. No attempt is made to discover or document an exhaustive list of every crack or anomaly in the exterior. These deficiencies should be repaired to avoid water intrusion.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Note: The heavy foliage growing on, over or around the exterior walls of the structure should be trimmed back at least 18-inches. The heavy foliage will limit the Inspectors visual observation of the exterior surfaces.



The wood siding and wooden supports were making wood to ground contact by design. This condition may promote wood rot and may attract wood destroying insects. These areas should be monitored and corrective measures taken if necessary.

The soffit was observed to be deteriorated or damaged at the south side of the house. Repair is recommended.



The wood siding and trim was observed to be damaged or deteriorated at the north, east, west, and south sides of the house, particularly along the lower edges of the siding. Repair is recommended.



There were openings in the exterior veneer in various locations including at the north and east sides of the house that need to be sealed to prevent water or pest intrusion into the crawlspace.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Peeling paint was observed on all of the exterior wood surfaces. Painting is needed to protect the structure. Further evaluation by a specialist qualified in lead paint remediation is recommended for homes built before 1978

F. Ceilings and Floors

Comments: This inspection includes observations concerning deficiencies of the ceilings, and floors related to structural performance or water penetration.

Types of ceiling covering: Sheetrock

Types of floor covering: Wood, Tile, Carpet

Ceilings

There were minor cracks in the interior ceilings that are considered to be cosmetic and average for age. No attempt is made to discover or document an exhaustive list of every crack or anomaly. These minor deficiencies should be repaired when repainting the interior.

Ceiling texture was observed to be damaged in the carport. Repair is recommended.



Water stains were observed at or around the water heater flue in the garage. The cause and remedy should be further evaluated and corrected as necessary.



Water stains were observed on the ceiling finish in the garage in the northeast corner bedroom. The cause and remedy should be further evaluated and corrected as necessary.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

The ceiling of the attached garage adjacent to the living space was not fire taped at the joints or the fire taping is damaged or failing. Drywall cladding on garage ceilings and walls that are adjacent or common with the living space should have the joints taped and sealed to provide the required fire rating for attached garages.



Floors

Older wood flooring is present that is in generally fair condition, but has some wear, minor damage, and staining.

G. Doors (Interior and Exterior)

Comments: This inspection includes observations concerning the condition and operation of interior and exterior doors (including the overhead garage doors).

One or more interior doors did not stay open due to foundation movement.

One or more of the entry doors were observed to have double cylinder locks. Double cylinder locks require a key to unlock from both the interior and exterior. All entry doors should be readily operable from the interior without special effort such as use of a key or special knowledge. Replacement with a deadbolt having an interior single throw lever is recommended.

The garage entry door was not self closing and self latching. Under current building standards, the entry door between the garage and the living spaces should be a solid, exterior type door, have a minimum of a twenty minute fire block rating, and be self closing and self latching.

H. Windows

Comments: This inspection includes observations concerning the condition and presence of windows and screens.

Note: Some or all of the windows were older single pane type windows. Although single pane windows are less efficient than modern double pane windows, replacement may not be cost effective. Replacement may be desirable if the windows have operation or cosmetic issues.

All or almost all of the windows were painted shut. At least one window in each bedroom should open to the exterior for emergency egress. Many of the windows had damaged or inoperative locks.

One or more of the window screens were observed to be missing. The owner should be consulted regarding any screens that may be in storage.

The trim was observed to be damaged or deteriorated on the windows at the north side of the house. Repair is recommended.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

I. Stairways (Interior and Exterior)

Comments:

The railing / guards for the stairway is loose and should be better secured for reasons of safety.

J. Fireplaces and Chimneys

Comments: This inspection includes observations concerning the visible components and structure of the fireplace.

Type and location: Decorative fireplace only, in the living room

The fireplace was decorative only, not intended for use as a wood burning fireplace without repair.

The fireplace firebox was observed to be cracked and damaged. Repair and mortar improvements are

The façade and mantle area of the fireplace was damaged. Repair is recommended.



A thorough examination of the chimney and flue interior is beyond the scope of a limited visual home inspection. This report identifies and comments on those items that were able to be visually inspected without the use of special tools. The ability of the fireplace system to properly draft is beyond the scope of a standard home inspection.

K. Porches, Balconies, Decks, and Carports

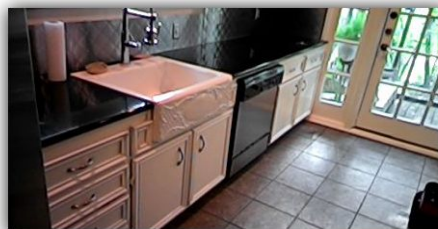
Comments: This inspection includes observations concerning any attached porches, decks, balconies and carports for structural performance.

There was wood to ground contact at the rear deck. This is a condition conducive to wood rot and wood destroying insect activity. Monitoring is recommended.

L. Cabinets

Comments:

The cabinets were achieving an operation and function that was consistent with accepted industry practices for their age.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

A door was misaligned due to a loose hinge in the cabinets in the kitchen.

M. Fences, Gates, and Retaining Walls

Comments:

The wood fence was weathered and had numerous damaged or loose boards. Repair is recommended.



N. Sidewalks, Walkways, and Driveways

Comments:

The sidewalk or walkway at the north side of the house was cracked, damaged, or deteriorated. Improvements may be desirable.

The driveway was observed to have minor cracks or deficiencies that are considered typical for its age and usage. Monitoring is recommended.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments: This inspection includes observations concerning the service entrance wiring, electrical panels, and sub-panels.

Over-current Protective Devices Type: Circuit Breakers

Service drop: Overhead *Ground Location:* Ground rod, West Exterior

Arc Fault Circuit Interrupt (AFCI) Protection is not present. Current electrical codes require AFCI for all living spaces in the house. Adding AFCI protection would be considered an upgrade to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards, form OP-I. .

Panel Box

Box Rating and/or Main Disconnect Rating: 125 Amps , Federal Pacific

Box Location: Master Bedroom Clothes Closet



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

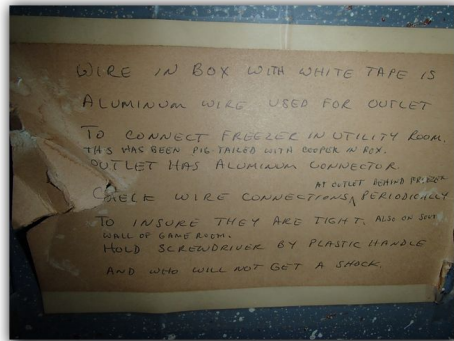
There is a Federal Pacific panel box in place at the time of the inspection. Due to the age of the panel box and the problems associated with this type of panel box, upgrading this panel box with a more current panel box is recommended. Full evaluation of this panel box is beyond the scope of this inspection. You are encouraged to have the panel box further evaluated by a qualified electrician *prior to closing*.

The electrical panel is located in a clothes closet. Under current electrical standards, this is no longer an accepted practice. This is an **“as-built”** condition but Per TREC standards of practice we are required to report this condition as a deficiency.

One or more screws were observed to be missing on the panel box cover. Replacing the missing screws is recommended.

The labeling of the over current devices (breakers or fuses) is missing, incomplete, or inaccurate. Further examination is recommended to correct the labeling for increased safety and convenience.

One aluminum wire circuit was present. Aluminum wiring requires special connectors. A note was present on the panel box cover stating that the appropriate connectors were in use, but this could not be verified. If concerns exist, further evaluation by a licensed electrician is recommended.



-
-
-
-

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Non metallic sheathed copper Romex or other brand, Aluminum, Braided cloth sheathed copper. where observed in the panel (if opened) and in exposed areas.

Comments: This inspection includes observations concerning electrical receptacles, switches and fixtures. Low voltage landscape lights and media equipment is not inspected.

Ground Fault Circuit Interrupt (GFCI) protection was not present for all required locations . Under current electrical standards all of the receptacles in the potentially damp areas including all kitchen counter tops, bathrooms, wet bar, laundry, garage, pool, and exterior should have GFCI protection. Note: GFCI receptacles installed prior to 2007 may not provide the protection of contemporary GFCI receptacles. Replacement of older GFCI devices should be considered.

GFCI protection was missing or incomplete in the garage, and, at the exterior.

Smoke alarms were all present. A carbon monoxide alarm was installed as a combination smoke and carbon monoxide alarm in the hallways. Current building standards require one smoke alarm in a hallway leading to sleeping areas, one smoke alarm per bedroom, and one smoke alarm per floor of the building. Smoke alarms are required to be interconnected. Most alarm manufacturer's recommend replacing smoke alarms every few years as the sensors lose sensitivity over time. Smoke and carbon monoxide alarms are not tested in older homes. Replacement of all smoke alarms is recommended when purchasing a previously owned home. Photovoltaic smoke alarms are generally considered more reliable than ionization smoke alarms.

Doorbells: Doorbell is present and operational

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

A GFCI receptacle was tripped or and would not reset in the kitchen. All the receptacles to the left of the cooktop were inoperative, presumably all these receptacles are on the same circuit. Further examination and repair of the receptacle and circuit is recommended.

Aluminum wiring is present in the home. Aluminum wiring requires the use of appropriate devices and connectors for reasons of safety. It is recommended to have a licensed electrician examine all fixtures and receptacles to verify that they are appropriately connected.

Note: The house was built in the 1930's or earlier. It likely had knob and tube service wiring at some time in the past and it is possible that it is still present in areas that were inaccessible or not viewed in a limited visual inspection (i.e. in walls, under insulation, etc.). If any receptacles tested as lacking grounding, it is presumed that knob and tube wiring is present (knob and tube wiring is not grounded). Even if the wiring has been updated in many areas, it is still possible and even likely that older wiring is present in difficult to access areas such as in the ceilings especially between floors. If concerns exist, further evaluation by a licensed electrician is recommended.

One or more of the light fixtures appear to be inoperative in the formal living room at the west side of the house. This may be due to a bad bulb or some other unknown condition. Further evaluation and repair is recommended as needed.

One or more of the receptacles is missing its cover plate in the half bathroom. Replacement of the cover plate is recommended.



III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Central forced air

Energy Sources: Natural Gas

Comments: This inspection includes observations concerning heating systems. The Heating system was operating adequately.

Central Heating System – *Energy Source:* Natural gas, Goodman, 1997



The heating equipment appears to have reached the end of its serviceable life expectancy.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Although the heating system components may be functioning as intended or in need of minor repairs, you should be aware that these are older components and the future life expectancy cannot be determined. You can continue to use and service these components until replacement is necessary.

There is a single heating and air conditioning system operating multiple zones. A powered damper is present that controls the distribution of conditioned air as needed to each zone. Two or more thermostats are present. One of the thermostats is the master control that determines whether the zones are set to heat or cooling modes.

The flexible connector for the gas supply was observed to be passing through the heating unit cabinet. Current building practices require a rigid pipe to be run into the unit and the flexible connector to be attached outside the unit.

Furnace flue material: Double wall B-vent

Unvented gas space heaters are present in the mudroom. Due to safety concerns, removal or replacement with a vented heater is recommended.



B. Cooling Equipment

Type of Systems: Central forced air system

Comments: This inspection includes observations concerning the performance of the cooling systems.

This inspection does not include a part or unit sizing or compatibility check.

The Cooling system was operating adequately.

Further evaluation by a professional heating, venting, and air conditioning company is recommended for all heating and cooling systems to establish the baseline efficiency for warranty purposes even if the cooling system was working as intended or was in need of minor repairs. Annual maintenance and service is recommended.

Central Cooling System – *Energy Source:* Electric, York, 2012

Today's Temperature Differential (Delta-T): 16 degrees Fahrenheit

Approximate System Size: 3 Ton

Filter Size: 14 x 25 x 1 *Location:* At the closet unit



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

There is a single heating and air conditioning system operating multiple zones. A powered damper is present that controls the distribution of conditioned air as needed to each zone. Two or more thermostats are present. One of the thermostats is the master control that determines whether the zones are set to heat or cooling modes. Damper systems require regular maintenance and annual servicing is recommended.

There is no secondary drain for the air conditioning coil. If piping a secondary drain line to the exterior is impractical, installation of a condensate overflow switch or alarm is recommended to avoid damage from obstructed primary condensate lines.

Example photo of an overflow switch



Notice: Temperature differential readings are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered approximately between **15 to 23** degrees F. total difference between the return air and supply air. Unusual conditions such as excessive humidity, low outdoor temperatures, and restricted airflow may indicate abnormal operation even through the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

-
-
-
-

C. Duct Systems, Chases, and Vents

Comments: This inspection includes observations concerning the condition and routing of the ducts, vents, fans and filters.

The covering on the ductwork that secures the insulation has deteriorated and the insulation is falling off in places, reducing the HVAC system efficiency. Repair or replacement of the damaged ductwork is recommended.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Notice: Since most of the ductwork is hidden in walls and ceilings or covered by insulation, only visible ductwork at the HVAC unit and accessible vents are inspected. The ducts and ductwork are not fully inspected due to low crawlspace headroom, hidden inaccessible areas, ductwork covered by insulation, attic storage, and limited attic access. Not inspected for product recalls.

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: Parkway

Location of main water supply valve: At the meter

Static water pressure reading: 40-50 p.s.i.

Type of supply piping material: Copper (where visible)

Comments: This inspection does not include buried water or gas lines or fire suppression systems. Underground or concealed components are not tested or inspected for efficiency, leaks, or other deficiencies.

The water meter was checked and observed when all water fixtures were off inside the house. No movement was observed in the flow dial of the water meter which indicates there are no noticeable water supply leaks at this time.

The sink was observed to have a leak at the drain in the kitchen. Repair is recommended.



The toilet in the half bathroom was inoperative. Repair is recommended.

Surface damage was observed at the sink in the half bathroom. Repair or replacement is recommended.

Damaged or missing tiles were observed in the shower stall in the shared bathroom. Repair is recommended.



This is a limited visual inspection of visible components and fixtures. It is not a code inspection. Older homes and even some newer homes will not be code compliant. If concerns exist, further evaluation by a licensed plumber is recommended.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

B. Drains, Wastes, and Vents

Type of drain piping material: Cast iron and PVC

Comments: This inspection includes observations concerning the condition of all accessible and visible waste-water drain lines and vent pipes. Underground or concealed components are not tested or inspected for efficiency, leaks, or other deficiencies. **This inspection does not include the clothes washer drain.** Due the age of the home, it is possible that the underground waste piping is older clay tile pipe. Further evaluation by a licensed plumber may be prudent

Location of drain cleanouts: North side yard

All drains were free flowing during the inspection. No signs of underground breaks or leaks were observed on the surface at the time of inspection.

All or some of the waste piping was observed to be older cast iron pipe. Cast iron pipe tends to deteriorate from the inside and may be prone to reduced flow or blockage over time. In most cases, cast iron piping is nearing or has reached the end of its serviceable life expectancy and replacement should be considered. Multiple fixtures were operated during the inspection and no issues were observed in the functional flow of the drains at the time of inspection. Older cast iron drain piping will have a variety of issues, not limited to rusting, corrosion, etc. If concerns exist, especially in an older home, further evaluation by a professional plumber licensed by the State of Texas may be warranted to determine if there are issues that were undetectable during a limited visual inspection.

An older lead drum trap was observed under the shower in the hall bathroom. Replacement is recommended.



C. Water Heating Equipment

Energy Sources: Natural Gas

Capacity: 40 gallons

Comments: This inspection includes observations concerning the water heating equipment and its temperature and pressure relief system.

Water Heater –

Energy Source: **Natural Gas**

Location: **Laundry closet**

Approximate Capacity: **40 gallons**

Manufacturer: **Bradford White**

Approximate Age: **2013**

Temperature & Pressure Relief Valve (TPRV): **Operated**

Double Wall B-Vent was not installed correctly.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

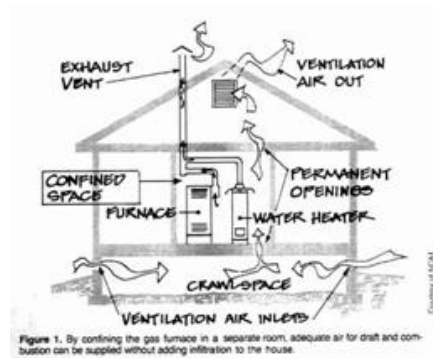


The equipment closet door should be sealed on all sides to prevent any combustion fumes or gas from entering the living space.

All or part of the vent piping was observed to be single wall pipe at the water heater. Current building practices call for double wall pipe (B-Vent) for the entire run of the vent piping. Repair is recommended.

The water heater did not have a safety drain pan. Current Building Practices require that water heaters installed in the living space have a safety drain pan with a drain to the exterior to prevent potential damage to property.

There is inadequate combustion air in the equipment closet. Combustion air for gas equipment should be supplied from an exterior source and not taken from the interior living space. Two metal pipes should be installed in the closet from the attic; one terminates near the ceiling and the other 12” from the floor to supply an outside air source.



D. Hydro-Massage Therapy Equipment

Comments:

The hydro-tub in the master bathroom was filled with water and observed in operation for approximately ten minutes. This component appeared to be performing consistently with accepted industry practices for its age at the time of this inspection.



I=Inspected

NI=Not Inspected

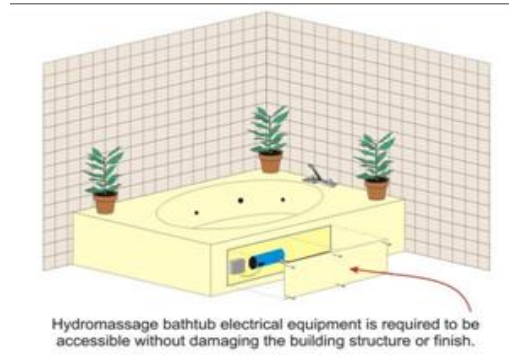
NP=Not Present

D=Deficient

I NI NP D

Operation of the GFCI breaker was verified in the master bathroom closet.

Although there is an access panel at the plumbing connections, the access to the hydro-massage therapy equipment motor and associated plumbing was not readily accessible and could not be visually inspected for proper configuration or leaks. This does not meet current installation standards.



E. Gas Distribution Systems and Gas Appliances

Location of gas meter: in the alley

Type of gas distribution piping material: Black steel pipe (where visible)

Comments:

Bonding of gas distribution system: could not be verified..

Gas lines and meters are checked for the obvious smell of gas at the visible connection of the equipment or appliance. The majority of the gas supply pipes are hidden in the structure or underground. Complete testing of gas lines requires disconnection from the meter, dismantling the line and performing a pressure check with special equipment. This is beyond the scope of this inspection.

F. Other

Comments:

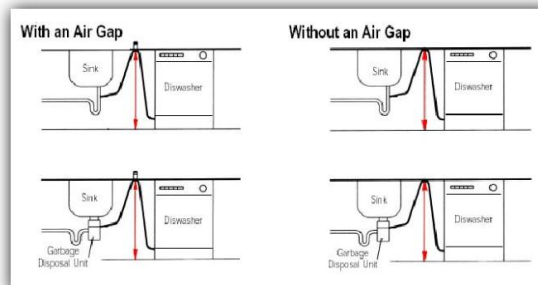
V. APPLIANCES

A. Dishwashers

Comments:

The dishwasher appears to be performing adequately for its age at the time of this inspection.

The dishwasher drain hose is not properly installed to prevent back flow or anti-siphoning. It is recommended that an air gap device or high drain loop be installed in the drain line. Note: Almost all dishwashers may have built in anti-syphon devices.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	--------------------------

B. Food Waste Disposers

Comments:

The food waste disposer appears to be performing adequately for its age at the time of this inspection.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

C. Range Hood and Exhaust Systems

Comments:

Type of vent: Ducted

The exhaust fan is noisy or vibrates excessively. Further examination and repair is recommended as needed.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

D. Ranges, Cooktops, and Ovens

Comments:

Type of cooking equipment: Gas Range

The range can be easily tipped over and should be equipped with an anti-tip device, for safety.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	--------------------------

E. Microwave Ovens

Comments:

The microwave appears to be performing adequately for its age at the time of this inspection.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Adding properly installed exhaust vents to the laundry area is a building standard in new homes, and proper use would remove excess moisture from these rooms.

The mechanical exhaust vents were observed to be venting into the attic area. Under current building standards, all mechanical exhaust vents should vent to the exterior of the structure. This is an *“as-built”* condition but *Per TREC standards of practice we are required to report this condition as a deficiency.* Repair is recommended.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

G. Garage Door Operators

Comments:

Photoelectric sensors are present and not installed more than six inches above the garage floor.

When an automatic garage door opener is in use, the manual lock should be disabled or removed.

The garage door opener *DID NOT* automatically reverse under reasonable resistance when closing. Improvement may be as simple as adjusting the sensitivity control on the opener.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	--------------------------

H. Dryer Exhaust Systems

Comments: Dryer vent interiors are not inspected..

Because the vent pipe vents vertically up through the roof for more than 10 feet, the dryer vent pipe will require periodic cleaning.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	-------------------------------------	-------------------------------------	--------------------------

I. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

Note: Some municipalities now require rain and freeze sensors to be installed on all new installation and pre-existing sprinkler systems. Please check with your municipality for rain and freeze sensor requirements.

Sprinkler system was equipped with a rain or freeze sensor.

Cut off valve location: at the north side of the house.

Station 1: Front flower beds,north side

Station 2: Front yard, closest to the house

Station 3: Front flower beds, closest to the parkway

Station 4: Front yard, rotary sprayers, south side

Station 5: Front yard, north side

Station 6: South side yard, rotary sprayers

Station 7: Front flower beds, south side

Station 8: South side yard

(It may be useful to print and cut out this section and post it by your sprinkler control panel.)

One or more sprinkler heads were damaged or missing in station 4 in the back yard. Repair is recommended.



Notice: This is a visual inspection of the exposed areas and is merely a comment on its overall working condition on this particular day. If operated, the sprinkler system was tested in manual mode only. Sprinkler systems require ongoing maintenance and attention. Since most of the system is buried under ground, it is impossible to determine the overall condition with absolute certainty. Spray coverage was not verified as part of this inspection. Coverage for the system should be monitored over time and adjusted accordingly to ensure even watering of the landscaping.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:

Comments:

Type of filter: Diatomaceous earth

Filter gauge reading: 6-10 P.S.I.



Visible deficiencies were observed in the pool finished surface. Some resurfacing may be necessary. This condition should be further evaluated by a professional pool service.

Visible deficiencies were observed in the spa finished surface. Some resurfacing may be necessary. This condition should be further evaluated by a professional pool service.

The light was inoperative.

The skimmer basket housing was damaged and needs repair to prevent water intrusion and damage to the decking and pool.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

The deck was observed to be cracked or damaged and somewhat settled at the northwest corner of the pool. Repair is recommended.



The elastic caulk (Deck-O-Seal or other brand) between the deck and coping was observed to be in the early stages of cracking. Monitoring is recommended.

The bond or grounding wire was incomplete. All nearby metal equipment should be connected to the bonding wire at the pool equipment. Recommend Repairs.

An auto-chlorinator or brominator was present, but not inspected. No chlorine tablet was observed.

The doors, fences, and gates that access the pool did not comply with the recommendations for pool barriers.

Pool Barriers

- * All pedestrian access gates should open outward away from the pool and should be self-closing and have a self-latching device. Where the release mechanism is located less than 54 inches from the bottom of the gate. A second release mechanism should be located on the poolside of the gate at least 3 inches below the top of the gate. There should be no openings in gate larger than 1/2" within 18" of latch.
- * All fences must be a minimum of 48" high. The maximum opening size must prevent passage of 4" sphere. A maximum of 2" above grade at bottom and difficult to climb. No ladder type rails on outside of fence.
- * Under current standards, all of the homes entry doors that give access to the pool area should be equipped with an audible alarm that can be heard throughout the house, sound continuously for 30-seconds, and be mounted at least 54-inches from the doors threshold. A self-closing and self-latch door device can be used in lieu of the audible alarm system as long as the protection is not less than the audible alarm.

CONSUMER POOL SAFETY NOTE: The American Society of Mechanical Engineers (ASME) has released ANSI/ASME A112.19.8 – 2007 Suction Fittings for Use in Swimming Pools, Wading Pools, Spas and Hot Tubs. The revisions for this standard include testing of outlet covers to prevent hair entanglement, body entrapment, and finger entrapment as well as improved Ultra Violet (UV) stability of outlet covers.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

The Virginia Graeme Baker Pool and Spa Safety act promotes the safe use of pools, spas and hot tubs by imposing mandatory federal requirements for suction entrapment avoidance. Effective December 20, 2008 the Act will be administered by the U.S. Consumer Products Safety Commission (CPSC) For this reason it is strongly recommended to install the approved drain covers at all lower drains for reasons of safety.

Company Disclaimer

Based on what we were able to observe and our experience with swimming pool, spa and hot tub technology, we submit this inspection report based on the present condition, working under current use and habits of the current occupants of the residence.

For further assistance and inspections, we recommend contacting a licensed pool contractor or ask the seller if you may discuss the pool or spa with the maintenance company that the seller has used to clean and service the pool or spa.

The Inspector shall inspect and report deficiencies in the condition of all associated above ground and accessible components. This inspection does not include evaluations of freeze guard controls and/or devices or pool, spa or hot tub bodies / shells below the water line and does not insure, guarantee or warrant against structure or sub-surfaces water leaks, either expressed or implied.

Specific limitations for swimming pools, spas, hot tubs, and equipment.

The inspector is not required to:

1. dismantle or otherwise open any components or lines;
2. operate valves;
3. uncover or excavate any lines or concealed components of the system or determine the presence of sub-surface leaks;
4. fill the pool, spa, or hot tub with water;
5. inspect any system that has been winterized, shut down, or otherwise secured;
6. determine the presence of sub-surface water tables; or
7. inspect ancillary equipment such as computer controls, covers, chlorinators or other chemical dispensers, or water ionization devices or conditioners other than required by this section.

C. Outbuildings

Comments:

Portable Storage Building

Interior Cladding: Unfinished. Type(s) of Roof Covering: Composition Shingles, Low Grade

Exterior Cladding: Wood Product Floor: Concrete

D. Private Water Wells (A coliform analysis is recommended)

Type of Pump:

Type of Storage Equipment:

Comments:

E. Private Sewage Disposal Systems

Type of System:

Location of Drain Field:

Comments:

F. Other Built-in Appliances

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

G. Visual Observations Concerning Termites and Carpenter Ants

Comments:

IMPORTANT NOTE: Comments about wood destroying insects are not a warranty, guarantee or insurance that the home is free of wood destroying insects or their damage. A warranty may be available for a fee from other companies.

There are no visible signs of active wood destroying insects at this time.

There are signs of past infestations or treatments (Treatment drill holes in concrete flatwork).

All homes have conditions conducive to wood destroying insect activity. Termites, carpenter ants, and other wood destroying insects can be hidden and unnoticed for long periods of time.

There are numerous conditions conducive for infestation that should be removed, like high soil in planter beds, heavy foliage and ivy growing on the structure and bushes and trees that are too close to the walls and roof.

A wood fence in contact with the structure is conducive by design and should be monitored for WDI's near the structure. Wood decks and walkways should not be built on grade or in contact with the soil

IMPORTANT NOTES:

Comments about wood destroying insects are not a warranty, guarantee or insurance that the home is free of wood destroying insects or their damage. A warranty may be available for a fee from other pest control companies.

The structure was *visually* inspected for subterranean termites and carpenter ants during the structural inspection. No special equipment or destructive testing was used. If visible subterranean termites and carpenter ants are discovered or reported above, it is recommended that the structure be treated by a licensed pest control applicator prior to closing.

When conditions conducive for infestation exist, or there are areas that are restricted or obstructed from view, the inspecting company shall not be responsible for the occurrence or appearance of subterranean termites and carpenter ants or damage after the inspection.

We may provide gratuitous limited comments about subterranean termites and carpenter ants in the home inspection report however such is not a TDA SPCS Official Wood Destroying Insect Report (WDI).

Client agrees to inform Armor Inspections if they or their lender requires the Official WDI Report prior to closing. In most cases we may be able to provide the Official WDI report. If provided, the WDI report further defines the scope of the WDI inspection. A warranty may be available for a fee from other companies. Armor Inspections is licensed and regulated by the Texas Department of Agriculture, Structural Pest Control Service, P.O. Box 12847, Austin, Texas 78711 - 877-542-2474 or visit www.tda.state.tx.us/spcs. Physical record location: 6239 Dilbeck Lane, Dallas, Texas, 75240 ; TPCL #824144